

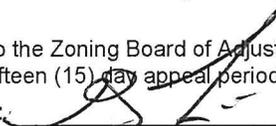
Appeal Period Expires 4/29/17
 Zoning District R2

Town of Essex, Vermont
Application for Zoning Permit
 www.essex.org

Application Date 1/1
 Permit Number 2017-40

All construction is to be completed in accordance with the Town of Essex Zoning Regulations and any/all federal or state regulations now in effect. You are required to post this permit in a conspicuous location on the property during the appeal period and it must remain posted throughout the construction period. **You are required to contact the necessary state agencies to obtain state permits @ 477-2241 (Jeff McMahon, Permit Specialist).**

Any interested person may appeal the decision of the Zoning Administrator to the Zoning Board of Adjustment within fifteen (15) days of the permit's date of issuance. Commencing construction within this fifteen (15) day appeal period is prohibited by law.

Signed: 

A Parcel Account Numb. (Map-Parcel-Lot) 2-026-002000
 (found in Town Assessor's Office)
 Property Address: 248 River Road
 Owner: Gary Fournier / Rebecca Fournier
 Owner Address: 308 Pond Road Hinesburg, VT 05746
 Owner Phone: (work) _____ (home) _____
 (cell) 802-343-7900 (Email) _____
 Contractors name: Gary & Rebecca Phone: 343-7900
 Cell: _____
 Estimated Construction Dates: Start: 7/10/17 Completion: 4/10/18
 Sq. Feet: 1400 Estimated Cost (labor & materials): \$50,000-

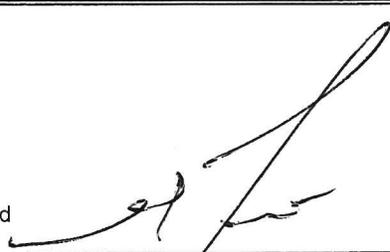
B Sewage Disposal (Please attach Sewer or Septic Application).
 Public Private Connection Fee \$ _____ Date Paid: 1/1
 Proposed New Bedrooms: 0 Existing Bedrooms 3 Existing

C Water (Please attach Water Service Application). Existing
 Public Private Fee \$ _____ Date Paid: 1/1

D Driveway (Please attach copy of approved Curbcut / Utility Application).
 Date of approval 1/1 Existing

E Stormwater
 Project disturbs an area greater than or equal to 1 acre - Erosion Control Permit Required. Attach completed permit application.
 Project creates new or expands existing impervious surface greater than or equal to 1/2 acre - Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.

F Diagram - Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet.

G Signature of Tenant and
 Signature of Owner 

G
 Check box(es) which describe proposed use or construction (circle choice in parenthesis).
 N = New A = Addition R = Remodel
 Residential: replace mobile home with
 Single Family house on existing found. A R
 Two-family (duplex)(other) unfinished basement
 Multi-family
 Condominium / Townhouse
 Mobile home
 Inclusions or Additions: 2 year existing
 Garage (attached)(detached)
 Porch (enclosed) open
 Deck
 Pool (in) (above) ground
 Shed
 Barn (residential) (agriculture)
 Non-residential:
 Commercial / Industrial
 Stormwater:
 Stormwater
 Erosion Control
 Other:
 Change in use
 Miscellaneous
 Renewal

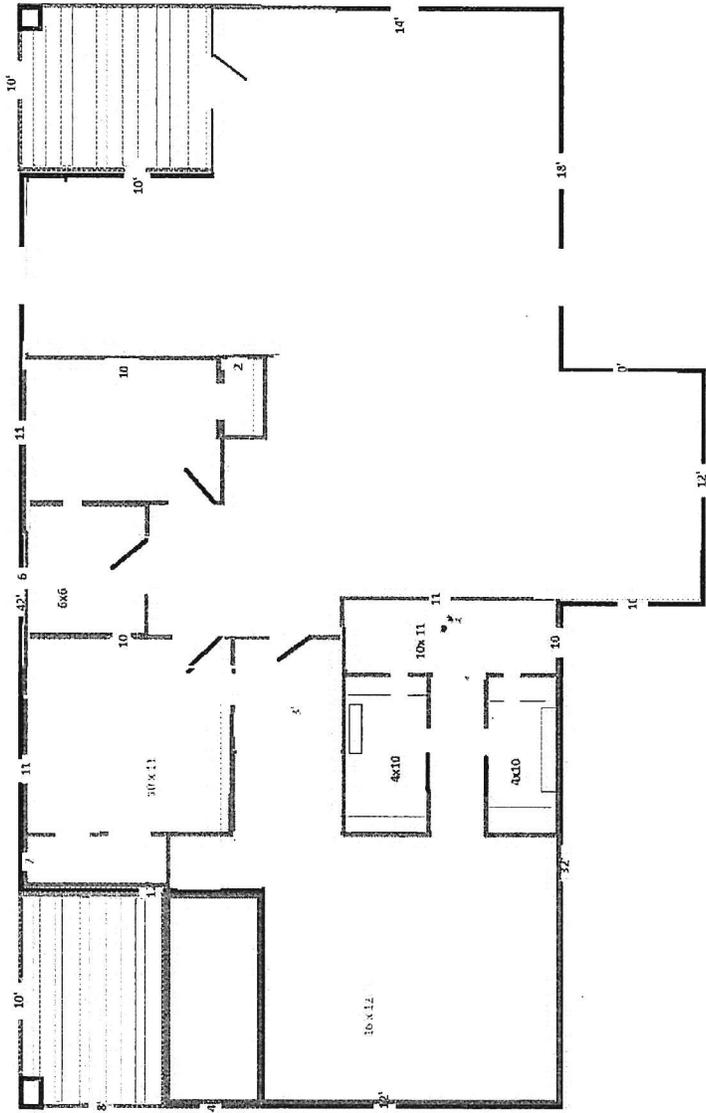
Office Use Only

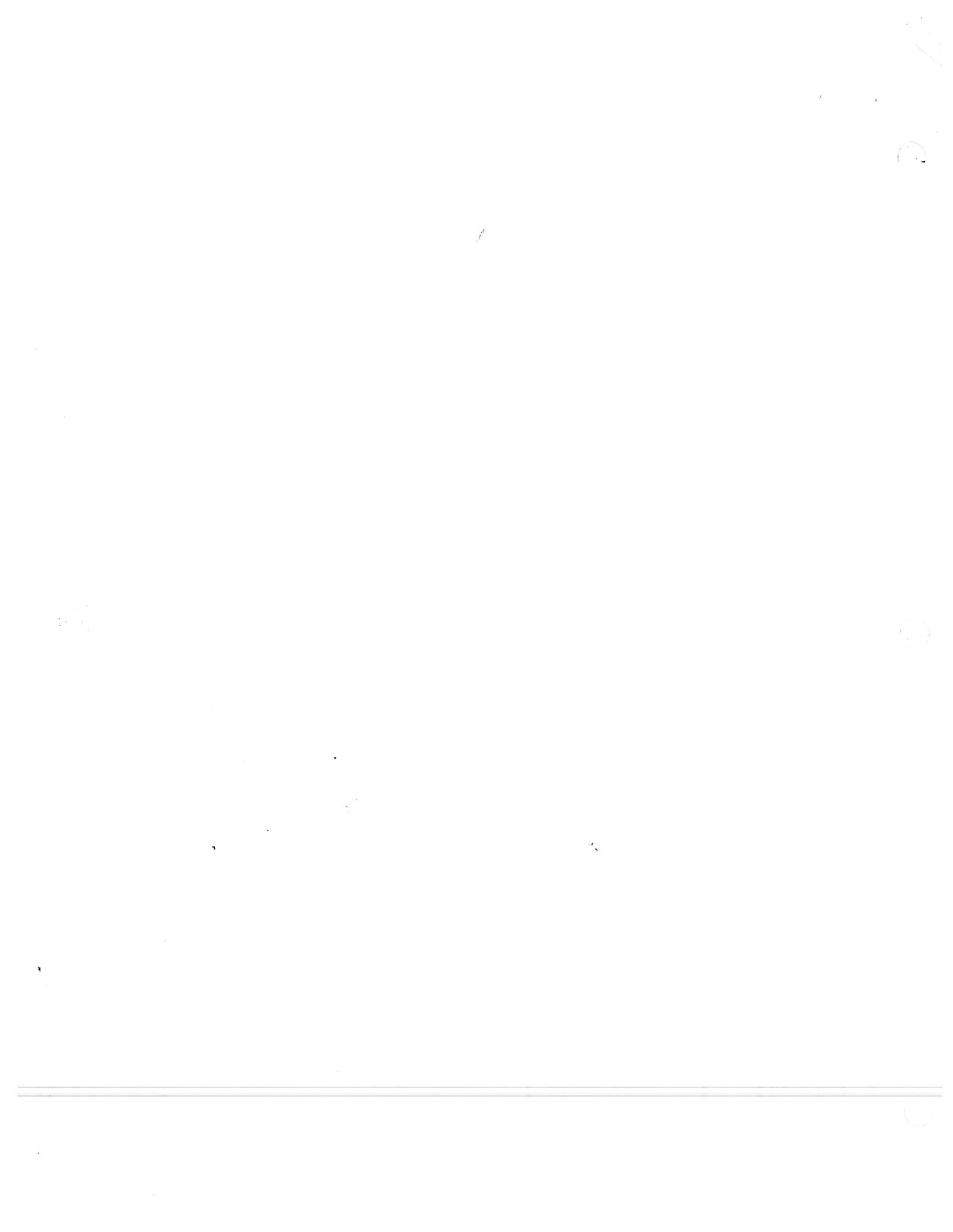
Fees:	Type	Amount	Date Pd
Permit		\$ <u>125.00</u>	<u>1/1</u>
Recreation		\$ <u>0.00</u>	
Recording		\$ <u>20.-</u>	<u>4/14/17</u>
Certificate of Occ		\$ <u>75.-</u>	<u>1/1</u>
Other		\$ _____	<u>1/1</u>

Building Permit
 Approved Rejected Date 4/14/17
 Issued to: Gary + Rebecca Fournier
 Zoning Administrator: Spencer Kelly
 Notes: Energy code given
 C.O. Required Yes No

THIS PERMIT VALID FOR TWELVE (12) MONTHS FROM DATE OF ISSUE

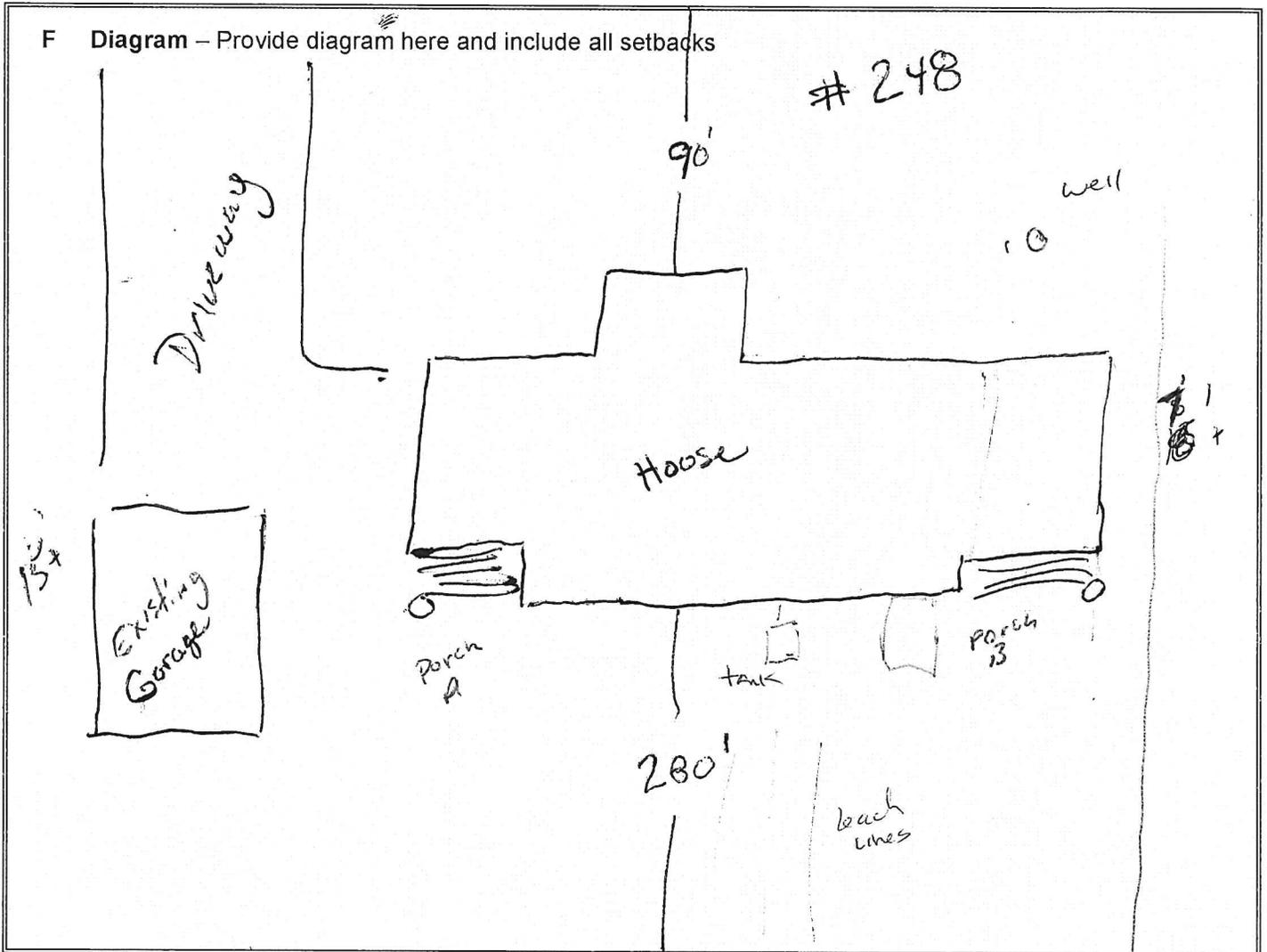
- 1 - Remove Trailer from foundation & modify House on existing foundation
- 2 - Add 2 covered porches extending to the Rear of the Property only
Porch A 100 sqft
Porch B 80 sqft
- 3 - Reside Existing Garage - (2 CAR - 1 story)

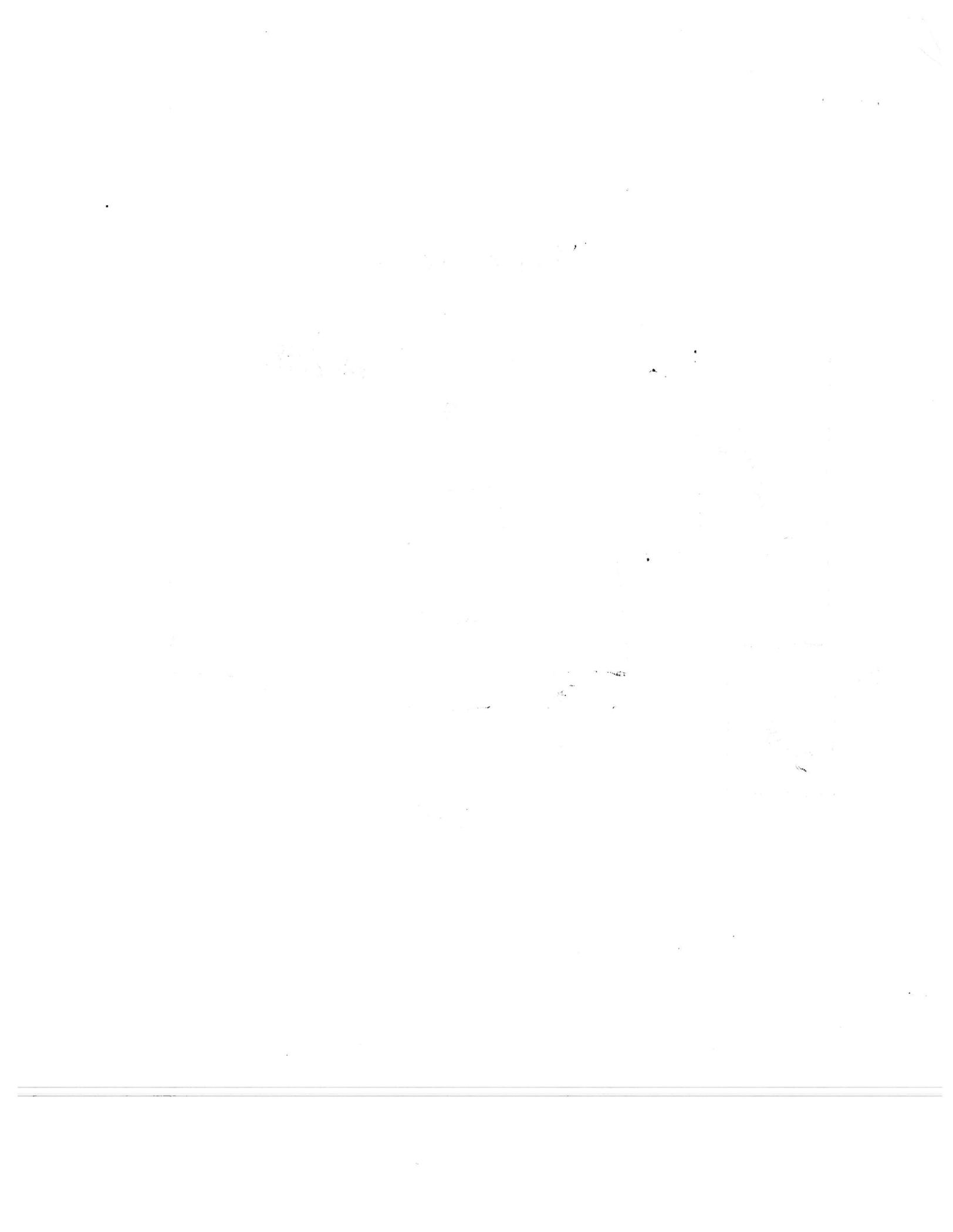




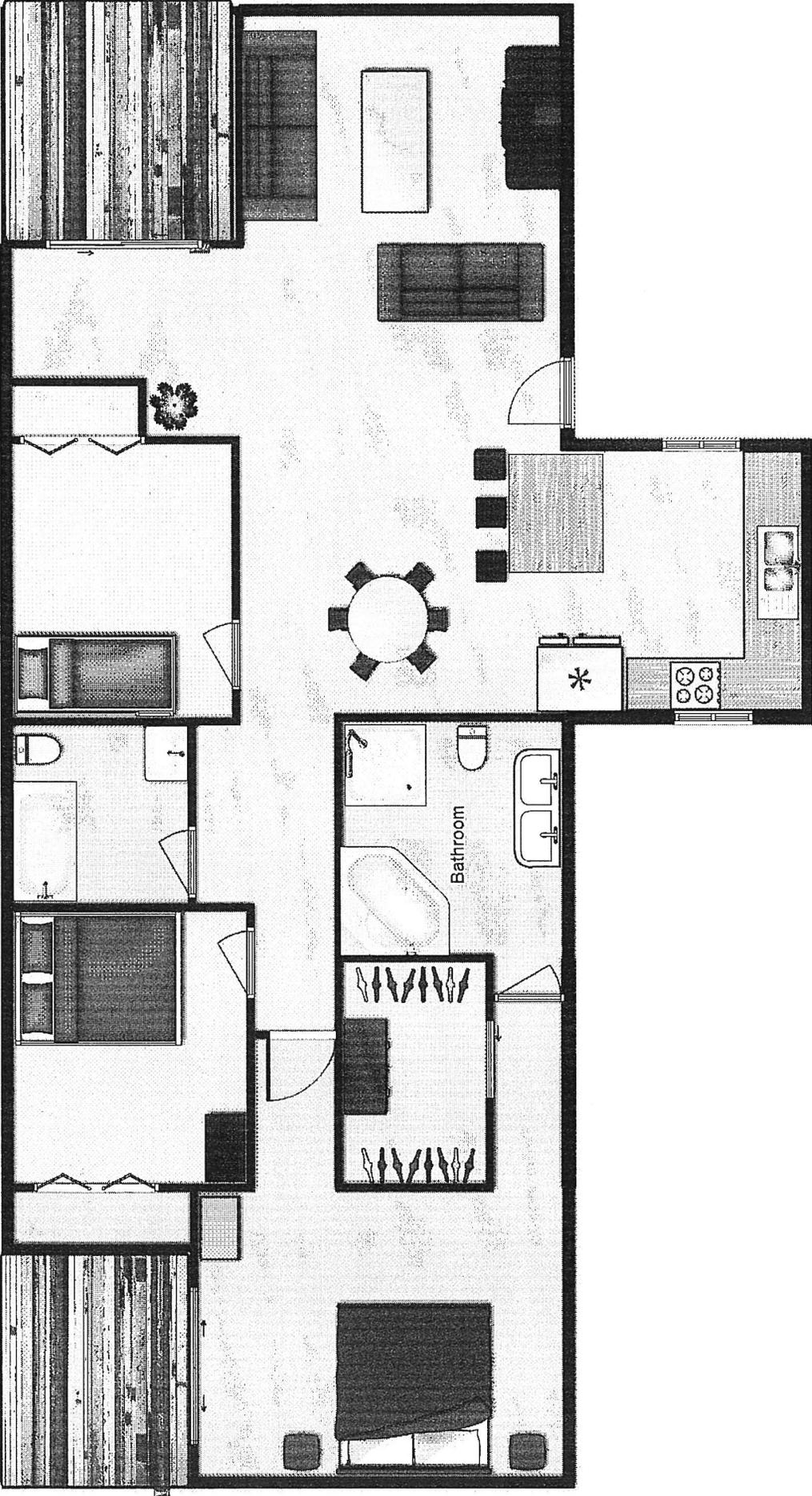
River Road

F Diagram – Provide diagram here and include all setbacks





Floor Planner



0ft 12ft 24ft

1000-19-70017